

RESOLUTION NO. 2014-78

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE
TO APPROVE A CONDITIONAL USE PERMIT AND DESIGN REVIEW
FOR GREEN ACRES (EG-13-013)
ASSESSOR PARCEL NUMBER: 116-0090-051**

WHEREAS, the Planning Division of the City of Elk Grove received an application on August 30, 2013 from Green Acres Nursery & Supply (the Applicant) requesting a Rezone, Conditional Use Permit, and Design Review; and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as APN: 116-0090-051; and

WHEREAS, the Project qualifies as a project under the California Environmental Quality Act (CEQA), Public Resource Code §§21000-21178 but is exempt; and

WHEREAS, the Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning) of Title 14 of the California Code of Regulations, Chapter 3, Division 6 (State CEQA Guidelines) provides an exemption from CEQA for projects that are consistent with the applicable General Plan and Zoning for which an Environmental Impact Report (EIR) was certified; and

WHEREAS, an EIR was certified by the City Council for the adoption of the City of Elk Grove General Plan (SCH 2002062082); and

WHEREAS, based on staff's review of the Project, no special circumstances exist that would create a reasonable possibility that granting a Rezone, Conditional Use Permit, and Design Review for this Project will have a significant effect on the environment beyond what was previously analyzed and disclosed; and

WHEREAS, the Planning Department considered the Project request pursuant to the Elk Grove General Plan, the Elk Grove Municipal Code Title 23 (Zoning), and all other applicable State and local regulations; and

WHEREAS, the Planning Commission considered the Applicant's request at a public hearing on February 20, 2014, and recommended the City Council approve the Green Acres project; and

WHEREAS, the City Council held a duly noticed public hearing as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Elk Grove approves the Conditional Use Permit and Design Review for the Green Acres Project subject to the conditions of approval contained in Exhibit A, incorporated herein by this reference, and as illustrated in the attached Exhibit B, incorporated herein by this reference.

General Plan Consistency

Finding: The proposed Rezone is consistent with the General Plan goals, policies, and implementation programs.

Evidence: The proposed Rezone is consistent with the General Plan land use map, which designates the Project site as Office/Multi-family. Additionally, the proposed Rezone does not alter the allowed intensity or density of development beyond that contemplated in the General Plan.

Conditional Use Permit

Finding: The Project is consistent with the goals and policies of the Elk Grove General Plan.

Evidence: The General Plan designates the property Office/Multi-Family, and an implementing zoning district is MP. The Project includes a Rezone from BP to MP, which is consistent with the General Plan. The proposed use (nursery) is permitted in the MP zone, with approval of a conditional use permit. Further, the General Plan requires high quality design. The elevations utilize plank cedar, metal, and glass. Landscaping and architectural detail at the street level softens the edge of the buildings and enhances the pedestrian scale and streetscape, which is consistent with the Citywide Design Guidelines. In fact the entire Project is designed consistent with the Citywide Design Guidelines as discussed in the findings below and throughout this staff report, thereby fulfilling the requirements for a high quality design. Based on this evidence, the Project is consistent with the Elk Grove General Plan.

Finding: The establishment, maintenance or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use, or the general welfare of the City.

Evidence: The Project is compatible with the surrounding uses and is not expected to result in impacts to the welfare of the surrounding properties. The Project provides adequate parking for the intended use and the surrounding roadway system and utilities can support the Project. The proposed Project is in compliance with the City of Elk Grove Zoning Code.. As such, the Project will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area.

Design Review

Finding #1: The proposed Project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, Laguna Gateway SPA, and Laguna Gateway Design and Development Guidelines.

Evidence: The site plan and building elevations have been reviewed in accordance with the General Plan, Zoning Code, and Citywide Design Guidelines, and it is concluded that the Project's architecture and site planning meet all applicable development standards. The proposed elevations for the development have been designed to be distinctive but compatible with the surrounding office and commercial buildings in regard

to scale, architectural style, and bulk, which is consistent with the requirements of the Guidelines. The elevations utilize plank cedar, metal, and glass. Landscaping and architectural detail at the street level softens the edge of the buildings and enhances the pedestrian scale and streetscape. The Project has a clear design concept which is carried through to all elements of the Project. Additionally, the Project is subject to conditions of approval that will ensure consistency with all standard requirements.

Finding #2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence: The proposed site plan and building elevations provide all design elements required by the Citywide Design Guidelines, including consistent detailing of the architectural style, providing sufficient pedestrian connectivity, and application of a consistent color palette throughout the Project.


Finding #3: The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The proposed elevations have been designed to be distinctive but still compatible with the surrounding commercial building and industrial/office buildings in regard to scale, architectural style, and bulk, which is consistent with the requirements of the Design Guidelines. The elevations utilize wood plank cedar, metal, and glass. Landscaping and architectural detail at the street level soften the edge of the buildings and enhance the pedestrian scale and streetscape. The Project has a clear design concept which is carried through to all elements of the Project.

Finding #4: The proposed Project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence: The proposed site layout of the development has been reviewed in accordance with the Citywide Design Guidelines. The Project has been designed with pedestrian and bicycle connectivity throughout the site, as well as incorporated clear crossings to avoid vehicular conflicts. Pedestrian connections are provided along East Stockton Boulevard to the Project site.

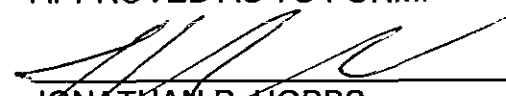
PASSED AND ADOPTED by the City Council of the City of Elk Grove this 26th day of March 2014.



GARY DAVIS, MAYOR of the
CITY OF ELK GROVE

ATTEST:


JASON LINDGREN, CITY CLERK

APPROVED AS TO FORM:


JONATHAN P. HOBBS,
CITY ATTORNEY

Exhibit A

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
On Going				
1.	<p>The Project approved by this action is for a Conditional Use Permit for garden center/nursery use and a Design Review for a 27,500 square foot building and associated accessory structures as illustrated in the approved plans as follows (Exhibit B):</p> <ul style="list-style-type: none"> • Site Plans dated December 23, 2013 <p>Deviations from the approved plans shall be reviewed by the City of Elk Grove (City) for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
2.	<p>The Applicant/Owner or Successors in Interest (hereby referred to as the "Applicant") shall indemnify, protect, defend, and hold harmless the City, its officers, officials, agents, employees, and volunteers from and against any and all claims, damages, demands, liability, costs, losses or expenses including without limitation court costs, reasonable attorney's fees and expert witness fees arising out of this Project including challenging the validity of this permit or any environmental or other documentation related to approval of this Application.</p>	On-Going	Planning	
3.	<p>This action does not relieve the Applicant of the obligation to comply with all codes, statutes, regulations, and procedures.</p>	On-Going	Planning	
4.	<p>Except as otherwise specified or provided in these conditions, the Project shall conform to the development standards and design requirements adopted by the City, specifically including but not limited to the following:</p> <ul style="list-style-type: none"> • The City Zoning Code (Title 23 of the EGMC) • EGMC Chapter 19.12 (Tree Preservation and Protection) • EGMC Chapter 14.10 (Water Efficient Landscape Requirements) • EGMC Title 16 (Building and Construction) 	On Going	Planning Public Works Building	

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5.	<p>The Applicant shall design and construct all improvements in accordance with the City Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works. All street improvements shall include vertical curb and gutter, except adjacent to lots where front-on residential access is provided, in which case street improvements shall include rolled curb and gutter. Specific locations on median(s) that require emergency vehicle access will be evaluated during review and acceptance of the Improvement Plans.</p> <p>Public sewer, water, and other utility infrastructure shall be designed and constructed in accordance with the standards of the appropriate utility.</p>	On Going	Public Works SCWA SASD SMUD PG&E	
6.	<p>The Applicant shall pay all plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), Sacramento Area Sewer District (SASD), Sacramento County Water Agency (SCWA), or other agencies or services providers as established by law.</p>	On-Going	Planning Public Works CCSD SCWA SASD	
7.	<p>Approval of this Project does not relieve the Applicant from the requirements of subsequent permits and approvals, including but not limited to the following:</p> <ul style="list-style-type: none"> • Grading Permit and Improvement Plan • Final Map • Building Permit and Certificate of Occupancy • Section 404, 401, 1602, or other State or Federal environmental permit • Requirements of the Sacramento Metropolitan Air Quality Management District • Fire permit 	On-Going	Planning Public Works Building CCSD SCWA SASD	

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Improvement Plan/Grading Plans				
8.	<p>The Planning Division shall be notified immediately if any prehistoric, archaeological, or paleontologic artifact is uncovered during construction. All construction must stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained to evaluate the finds and recommend appropriate action.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p>	Improvement Plan	Planning	
9.	<p>All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in CEQA Section 15064.5 (d) and (e) shall be followed.</p> <p>A note stating the above shall be placed on the Improvement Plans</p>	Improvement Plans	Planning	
10.	<p>The Applicant shall reserve future access between parcel 116-0090-047 and the parcel of this development (APN: 116-0090-051). The location of the reciprocal access area shall be to the satisfaction of Public Works and Planning. Applicant shall record a Covenant Agreement prior to Improvement Plans to the satisfaction of Public Works providing for access to parcel 116-0090-047. Should owner of parcel 116-0090-047 want reciprocal access at a future date, the Applicant shall record a reciprocal access agreement with the adjoining property owner across both properties.</p>	Improvement Plans/On-Going	Planning/ Public Works	
11.	<p>The Applicant shall prepare and submit a drainage study to the satisfaction of Public Works and in accordance with City of Elk Grove Storm Drainage Master Plan, Improvement Standards, and General Plan.</p>	Improvement Plan Submittal or Prior to Issuance of Grading Permit(s), whichever occurs first.	Public Works	

Exhibit A

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
12.	The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the City of Elk Grove Improvement Standards and most recent version of the <i>Stormwater Quality Design Manual</i> for the Sacramento Region. The Applicant shall also submit a separate maintenance plan describing proper maintenance practices for the specific treatment controls to be constructed.	Prior to Improvement Plan Acceptance and/or Prior to Issuance of a Grading Permit(s), whichever occurs first.	Public Works	
13.	The Applicant shall execute a maintenance agreement with the City for stormwater quality control treatment devices to the satisfaction of Public Works.	Improvement Plans	Public Works	
14.	The Applicant shall design and construct an emergency only access on East Stockton Blvd, at the location shown on the site plan, to the satisfaction of Public Works. The access shall be a minimum of 20 feet wide with the following design: <ul style="list-style-type: none"> • Provide a 6-inch curb, painted red having a 1:1 slope between the gutter flowline and the top of curb • Install decorative pavement/concrete from the back of curb for a minimum depth of 5 feet. From the decorative pavement/concrete for a minimum depth of 10 feet turf block with 1-foot wide concrete strips on each side of the turf block. 	Improvement Plans	Public Works	
15.	For any work proposed outside of the Project's property boundaries, the Applicant shall obtain an easement and/or right-of-entry from the appropriate property owner to the satisfaction of Public Works.	Improvement Plans	Public Works	
16.	The Applicant shall obtain clearance letters from the applicable entities for any sign located within an easement, including a Public Utility Easement.	Improvement Plans	Public Works	

Exhibit A

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17.	Prior to the submittal of improvement plans to Public Works for review, the applicant shall submit a Tree Survey noting species and size (DBH) of all current DBH inches to be mitigated for all City-protected trees to be removed, as defined in Chapter 19.12 of the Municipal Code, or state that none exist.	Improvement Plans	Planning/Landscap e	
18.	Landscape improvement plans shall be submitted that complies with the overall design intent of the approved Preliminary Landscape Plan. Compliance with this condition shall be confirmed at the time of submittal to the Public Works Department, and to the satisfaction of the Planning Director.	Improvement Plans	Planning/Landscap e	
19.	The Landscape improvement plans shall comply with the requirements of the City of Elk Grove Design Guidelines for Non-residential Development, Zoning, and Municipal Codes. Compliance with this condition shall be confirmed at the time of submittal to Public Works Department, and to the satisfaction of the Planning Director.	Improvement Plans	Planning/Landscap e	
20.	The design of the trash enclosure shall meet or exceed the requirements of the City of Elk Grove 'space allocation and enclosure design guidelines for trash and recycling'. The design of the trash enclosure shall be of a quality equal to or better than that represented on the approved Site Plan/Site Details, to the satisfaction of the Planning Director.	Improvement Plans	Planning/Landscap e	
21.	Upon completion of installation of the landscaping for the Project, and prior to final inspection or occupancy of any structure on the site, the project landscape architect shall certify that the landscape has been installed per the approved landscape documentation package and complies with all City Water Efficient Landscape Requirements. Certification shall be accomplished by submittal of a Certificate of Completion, on a form provided by the City pursuant to the requirements of Section 14.10.130 of the Municipal Code, for review and approval by the Public Works Department.	Improvement Plans	Planning/Landscap e	

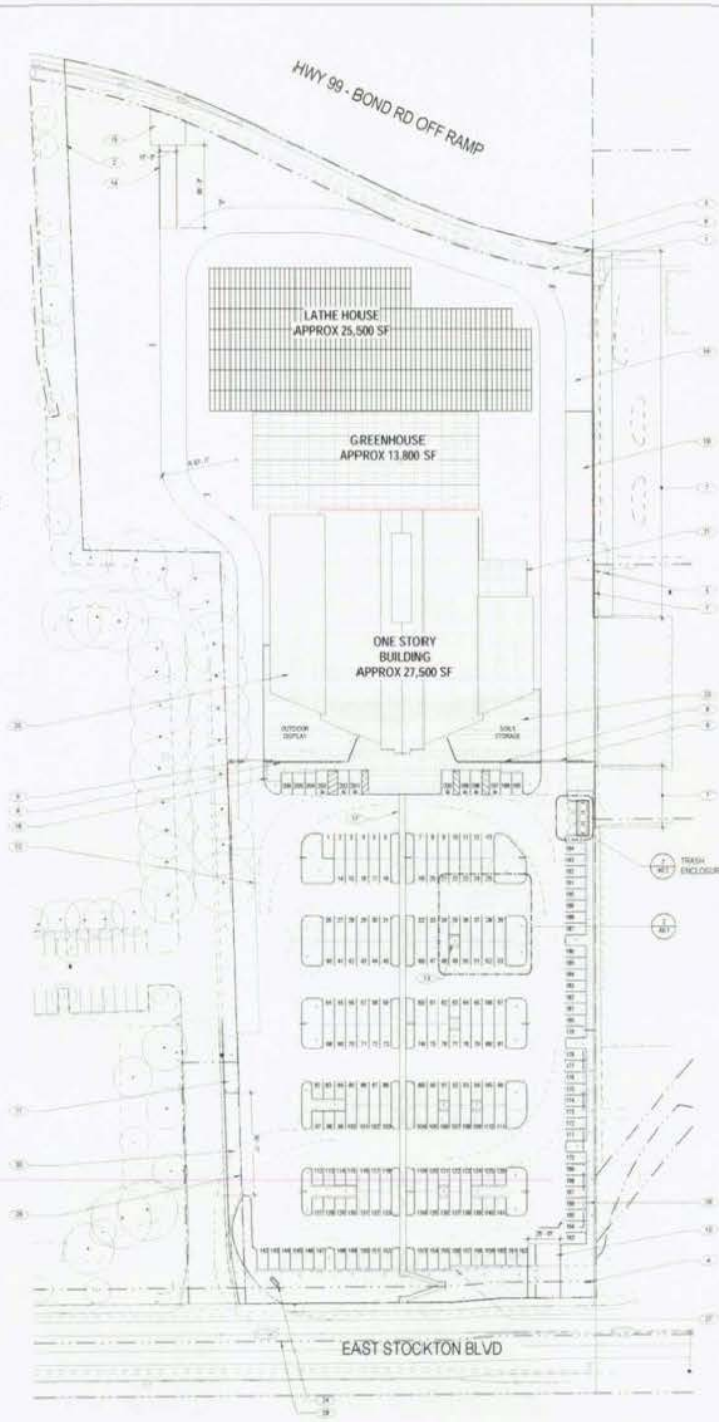
Exhibit A

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
Building Permit				
22.	Prior to approval of a Building Permit, the Project area shall annex into the Maintenance Mello-Roos Community Facilities District 2006-1 (CFD), to fund the project's fair share of landscape related maintenance costs associated with public parkways, public parks, open space, landscape setbacks, bike and other paths, landscaped medians in and adjacent to roadways, maintenance and operation of a community center, sports (including aquatic) facilities, cultural arts center, and water features, and maintenance of other related facilities. The annexation process can take several months, so applicants should plan accordingly. The application fee for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax. For further information regarding this CFD, see http://www.elkarovecity.org/finance/annexation-to-districts.asp .	Building Permit	Finance Department	
23.	Photometric Site Lighting Plan shall be required to be submitted as part of the Building permit application and plan review submittal plan set for site and accessible path lighting review.	Building Permit	Building Department	
24.	Fire apparatus access roads shall be provided with minimum turning radii of 25 feet inside and 50 feet outside.	Prior to Building Permit Issuance	Cosumnes CSD Fire Department	
25.	Provide additional information regarding fire department access. Emergency access concept is approved but the construction and application of the access needs further review prior to Building permit issuance.	Prior to Building Permit Issuance	Cosumnes CSD Fire Department	
26.	An approved water supply capable of supplying the required fire flow for fire protection shall be provided to the entire premises. This Project is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure for commercial buildings. Water mains shall be looped ten inch mains with two points of connection. On site and off site fire hydrants required.	Prior to Building Permit Issuance	Cosumnes CSD Fire Department	

Exhibit A

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27.	An approved fire control room shall be provided for in all buildings protected by an automatic fire extinguishing system. Said room shall contain all system control valves, fire alarm control panels and other fire equipment required by the Chief. Fire control rooms shall be located within each building at a location approved by the Chief, and shall be provided with a means to access the room directly from the exterior.	Prior to Building Permit Issuance	Cosumnes CSD Fire Department	
28.	All gates shall be equipped with Knox Rapid Entry devices and Click 2 Enter radio controlled rapid entry systems.	Prior to Building Permit Issuance	Cosumnes CSD Fire Department	
29.	Prior to issuance of a Building Permit, the property owner(s) shall approve an annual Mello-Roos Community Facilities District special tax to fund a portion of the cost of the District's fire and emergency services, maintenance, operation, and repair and replacement of fire station facilities and fire and emergency equipment. In the event that the property owner(s) fails to approve the annual special tax, no building permits for the property shall be issued.	Prior to Building Permit Issuance	Cosumnes CSD Fire Department	
30.	The Applicant shall reconstruct any deteriorated curb, gutter, sidewalk and/or pavement, and ADA compliance improvements along the Project's frontage to the satisfaction of Public Works. If pavement replacement is required, the Applicant may be required to <i>grind, overlay, and/or slurry seal</i> per City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Building Permit	Public Works	
31.	At all street intersections adjacent to the Project, public or private, the Applicant shall install and/or replace street name signs in accordance with the City of Elk Grove Standard Details.	Building Permit	Public Works	
32.	Any on-site traffic calming devices and locations shall be approved by Public Works prior to installation, including, but not limited to, speed bumps.	Building Permit	Public Works	

EXHIBIT B

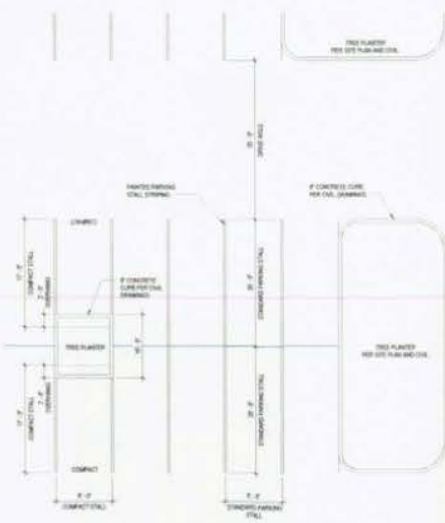


ADJACENT PARCEL - OFFICE USE

ADJACENT PARCEL - RETAIL USE

DEVIATION FROM CITY STANDARDS

WE RESPECTFULLY REQUEST A NUMBER OF THE 8' SIDE LANDSCAPE BUFFER REQUIREMENT ALONG THE SOUTH PROPERTY LINE SINCE IN THIS PARTICULAR CASE IT CREATES UNDESIRABLE PLANNING REQUIREMENTS. THE STANDARD ALLOWS FOR WIDTHS OF THIS REQUIREMENT FOR ANY UNDESIRABLE ELEMENTS (TREES, LIGHTS, SIGNS, ETC.) WHICH CAN BE REMOVED OR REDUCED TO A MINIMUM WIDTH OF 4' TO 6'. THE SOUTH PROPERTY LINE IS ADJACENT TO AN OFFICE BUILDING WHICH IS CURRENTLY UNDER CONSTRUCTION. THE SOUTH PROPERTY LINE IS CURRENTLY BEING ALLOWED TO BE 8' WIDE SINCE THE LANDSCAPE BUFFER REQUIREMENT IS CURRENTLY BEING REMOVED BY THE LANDSCAPE ARCHITECTURE FIRM. WE REQUEST THAT THE CITY ENGINEER REVIEW THE LANDSCAPE BUFFER REQUIREMENT AND APPROVE THE 8' SIDE LANDSCAPE BUFFER REQUIREMENT ALONG THE SOUTH PROPERTY LINE ON THE OTHER SIDE.



TYPICAL PARKING STALL DIMENSIONS - PLAN

2

PROJECT DATA

BUILDING ADDRESS	1035 E STOCKTON BLVD, ELK GROVE, CA
ASSESSOR'S PARCEL NO	110-000-020
SITE AREA	9,834.46 SQ FT
SCOPE OF WORK	NEW ONE (1) STORY BUILDING GREENHOUSE, LATHE HOUSE, AND ASSOCIATED SITE IMPROVEMENTS FOR A PLANT NURSERY & SUPPLY STORE.
SETBACKS	
FRONT	25 FT
SIDE & REAR	5 FT
BUILDING HEIGHT PROPOSED	30' - PRIMARY STRUCTURE, 24' - GREENHOUSE, 10' - LATHE HOUSE
BUILDING HEIGHT ALLOWED	40' - PRIMARY STRUCTURES, 10' - ACCESSORY
PARKING	
LAND USE TYPE	GARDEN CENTER PLANT NURSERY
PARKING RATIO REQUIRED	4.5 / 1,000 SF
PARKING STALLS REQUIRED	576
PARKING STALLS PROPOSED - TOTAL	208
PARKING STALLS PROPOSED - REGULAR	161
COMPACT STALLS PROPOSED	27
COMPACT RATIO PROPOSED	0.75 / 1,000 SF
COMPACT STALLS ALLOWED	30% OF REQUIRED STALLS
ACCESSIBLE STALLS PROPOSED	7
ACCESSIBLE STALLS REQUIRED	7
BIKE SPACES PROPOSED	7
BIKE SPACES REQUIRED	7
PARKING STANDARDS FOR UNDEVELOPED STANDING	(MINIMUM DIMENSIONS)
STANDING	8'0" X 10' 0"
COMPACT	9'0" X 10' 0"
ACCESSIBLE	9'0" X 10' 0"
DRIVEWAYS	20' 0" (ONE WAY), 20' 0" (TWO WAY)

PROJECT TEAM

APPLICANT GREEN ACRES NURSERY & SUPPLY 1034 Sutter Street #500 Yuba City, 95602 Contact: Mark Calk	Phone: (916) 873-1000 e-mail: mark@greenacres.com
ARCHITECT RMW ARCHITECTURE & INTERIORS 1718 Mt. Diablo, Suite 101 Sacramento, CA 95817 Contact: Marta Lutz Steve Calk	Phone: (916) 445-1400 Fax: (916) 445-1414 e-mail: mrlutz@rmw.com e-mail: scalk@rmw.com
CIVIL CVA ENGINEERING, INC 2575 Miller Road Sacramento, CA 95821 Contact: Steve Norman	Phone: (916) 465-3700 e-mail: steve.norman@cvaengineer.com
LANDSCAPE YAMASAKI LANDSCAPE ARCHITECTURE 1223 High Street Alhambra, CA 91803 Contact: Brian Peltz	Phone: (510) 885-0300 e-mail: brian@yamasaki-la.com

KEYNOTES

1. EASEMENT: SEE SHEET C FOR EASEMENT DETAILS
2. (S) FENCE ON ADJACENT PROPERTY: SEE 18A0 2
3. (S) FENCE (CAL TRAIL): SEE 18A0 2
4. (S) FENCE & COMMUNICATIONS EQUIPMENT
5. (S) CAL TRAIL TO REMAIN AT EXISTING GRADE. TREE FENCE BEETS ON GRADE BEAM AND FOOTINGS TO GRAB OVER TREE ROOTS. LOCATION OF GRADE BEAM AND FOOTINGS TO BE LOCATED WITH ARBORIST RECOMMENDATION.
6. (S) FENCE ONLY ALONG CAL TRAIL FROM POINT OF START TO MATCH FENCE ALONG SOUTH PROPERTY LINE. 8" HIGH CHANNEL WITH 3 STRAND BARBED WIRE, UNPAINTED BLACK, NOTHOLE'S CORNER.
7. (S) HIGH CAL TRAIL WALL ALONG NORTHERN PROPERTY LINE FROM TRASH ENCLOSURE TO ORNAMENTAL FENCE.
8. ORNAMENTAL FENCE
9. SLOTTED GATE IN ORNAMENTAL FENCE
10. NO PARKING ZONE, FIRE DEPT SECONDARY ACCESS, SEE CIVIL 205
11. LANDSCAPE IMPROVEMENTS ON ADJACENT PROPERTY IN ORDER TO EXTEND THE 8' SIDE LANDSCAPE BUFFER AT PROPERTY LINE.
12. OVERFLOW PARKING FOR LOADS
13. DASHED LINE INDICATES VEHICLE OVERHANG
14. RECESSED LOADING DOOR APRON
15. CONCRETE PAD
16. GRAVEL AREA FOR STORAGE OF PLANTS AND TREES
17. WALKWAY
18. SHED DOCKS
19. PADDED AREA FOR DISPLAY AND STORAGE OF PLANTS
20. POTTERY STORAGE AREA, COVERED, +/- 100 SF
21. HOUSE PLANT GREENHOUSE AREA, +/- 100 SF
22. PADDED AREA
23. MICHAM SIGN AT STREET, REFER TO QAD 2
24. NOT USED
25. COMMUNICATION EQUIPMENT: SEE CIVIL C1 FOR EASEMENT DETAILS
26. REQUIRED SETBACK LINE
27. CENTERLINE OF ROADWAY
28. RECIPROCAL ACCESS EASEMENT: SEE CIVIL C1 FOR DETAILS
29. FIRE TRUCK TURNING RADIUS

VICINITY MAP



RMW
ARCHITECTURE & INTERIORS
1718 Mt. Diablo, Suite 101
Sacramento, CA 95817
Tel: (916) 445-1400
Fax: (916) 445-1414
www.rmwa.com

GREEN ACRES
NURSERY & SUPPLY

GREEN ACRES NURSERY & SUPPLY, ELK GROVE
1035 E STOCKTON BLVD
ELK GROVE, CA

PLANNING SUBMITTAL

Item	Description	Date
1	FINAL SUBMITTED PLANNING SUBMITTAL	08/01/13
2	FINAL SUBMITTED PLANNING SUBMITTAL	03/11/13



Drawn by: MFL, gml Date: 08/05/13

Checked by: JBL

Name:

Scale: As indicated

Project number: 13031.00

SITE PLAN

Sheet No. A0.1



POLE MOUNTED LUMINAIRE
SCALE: NTS 20



FENCE AT SOUTH PROPERTY LINE
SCALE: NTS 19



WATER TOWER SIGN AT FREEWAY INTERCHANGE ONLY
SCALE: NTS 17



LATHE HOUSE AT EXISTING FACILITY - FOR REFERENCE
SCALE: NTS 16



WALL MOUNTED LIGHT FIXTURE
SCALE: NTS 15



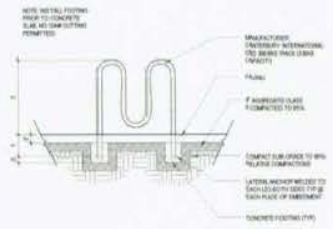
FENCE AT WEST PROPERTY LINE
SCALE: NTS 13



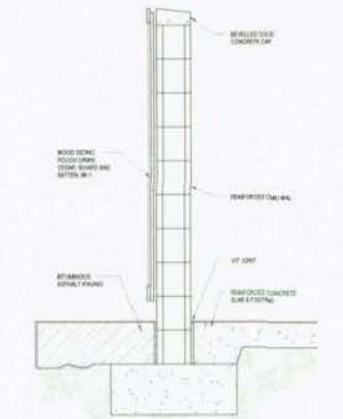
MONUMENT SIGN AT STREET
SCALE: NTS 12



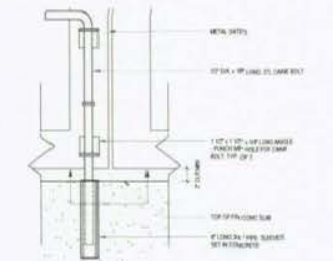
LATHE HOUSE AT EXISTING FACILITY - FOR REFERENCE
SCALE: NTS 11



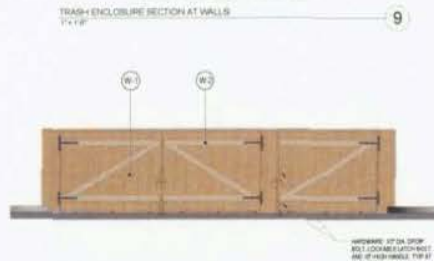
GATE TRACK
1/2" = 1'-0" 14



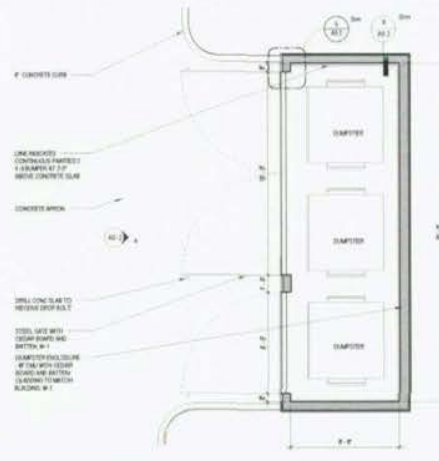
TRASH ENCLOSURE SECTION AT WALLS
1/4" = 1'-0" 9



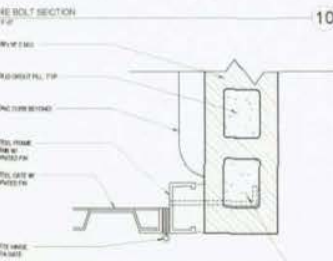
GATE BOLT SECTION
3/4" = 1'-0" 10



TRASH ENCLOSURE - ELEVATION
1/4" = 1'-0" 4



TRASH ENCLOSURE - PLAN
1/4" = 1'-0" 2



GREENHOUSE AT EXISTING FACILITY - FOR REFERENCE
SCALE: NTS 6



GREENHOUSE & FENCE AT EXISTING FACILITY - FOR REFERENCE
SCALE: NTS 1

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Fax: 916-444-1414
www.rmwa.com

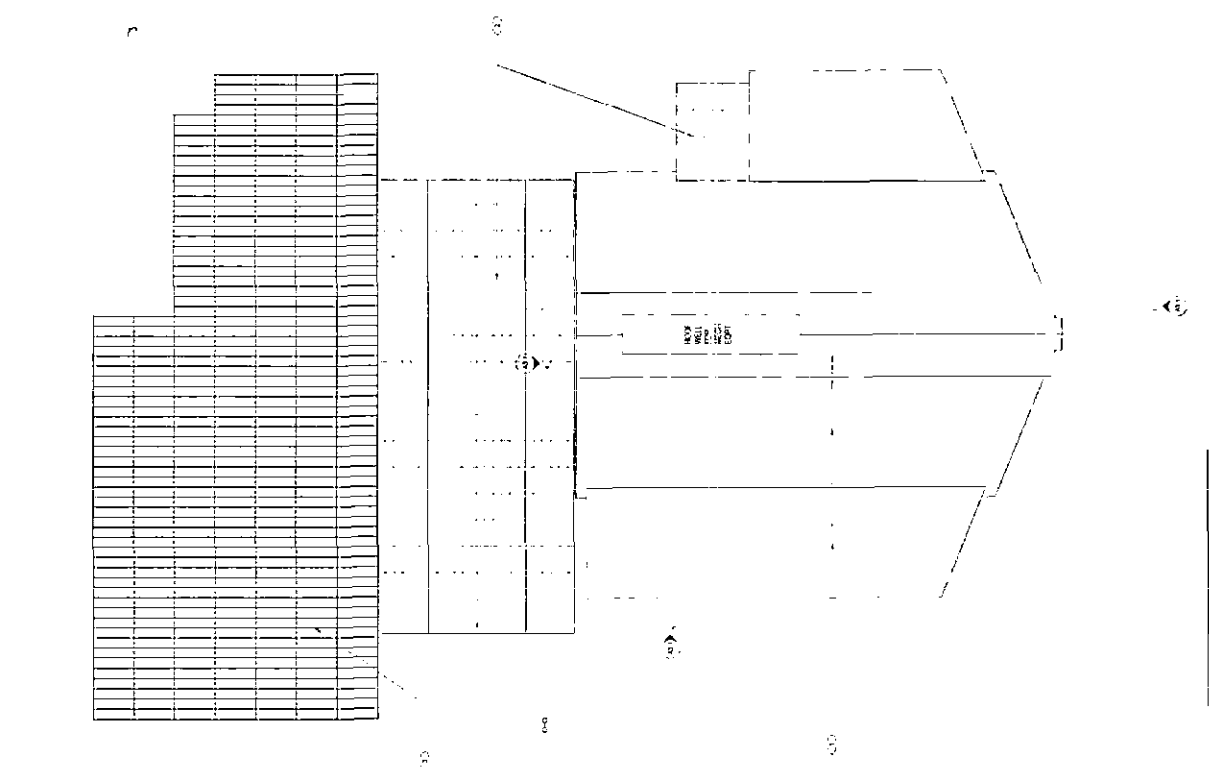
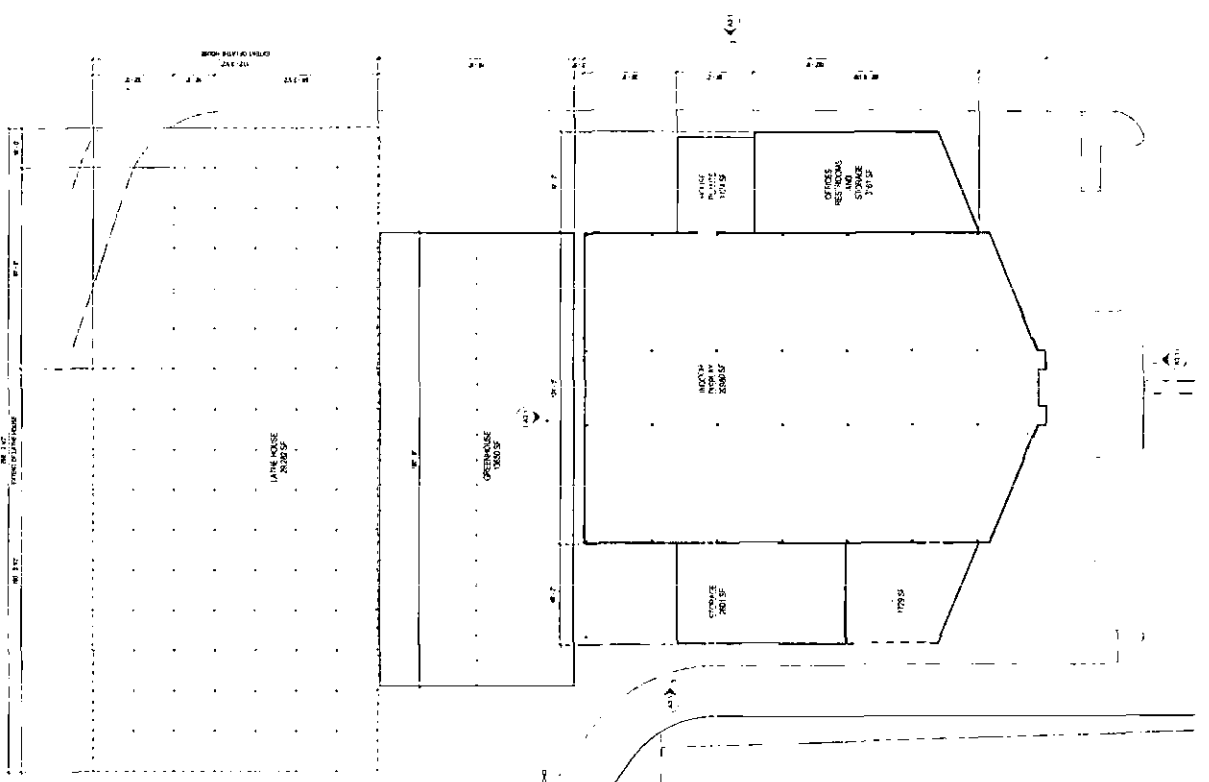


GREEN ACRES
NURSERY & SUPPLY, ELK GROVE
8006 STOCKTON BLVD.
ELK GROVE, CA
PLANNING SUBMITTAL

DATE FOR REVISION	NO.
DATE FOR REVISION	NO.
DATE FOR REVISION	NO.

Drawn By: MSL
Checked By: JSS
Date: 10/20/10

SITE DETAILS, SIGNAGE



FLOOR PLAN 17-200

ROOF PLAN 17-200

- ROOF PLAN KEYNOTES**
1. ROOF ENCLOSURE FOR STORE - M-1
 2. ROOF ENCLOSURE FOR RESTROOMS - M-1
 3. ROOF ENCLOSURE FOR STORAGE - M-1

DATE: 08/25/17



SOUTH ELEVATION
1/8" = 1'-0"

5



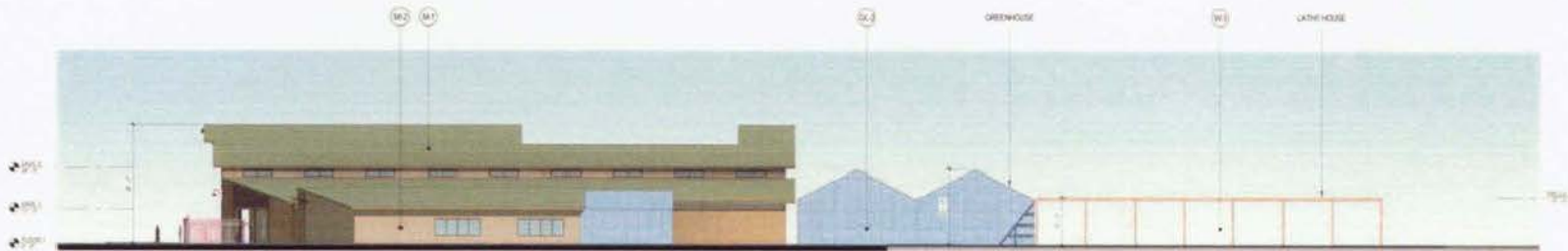
WEST ELEVATION
1/8" = 1'-0"

4



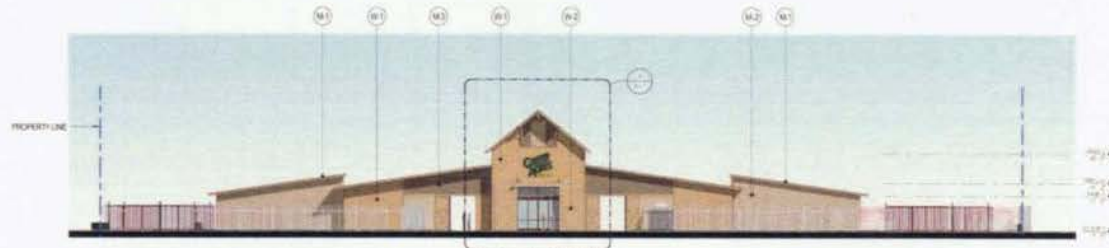
MAIN ENTRANCE - ENLARGED ELEVATION
1/8" = 1'-0"

3



NORTH ELEVATION
1/8" = 1'-0"

2



EAST ELEVATION
1/8" = 1'-0"

1

EXTERIOR FINISH SCHEDULE

PROFILED METAL WALL PANELS

ALSO OF DESIGN: PRESTONE, DELTA CERAMIC, KASTEMEK PANELS

M2 - PROFILE: DELTA CERAMIC, VERTICAL
COLOR: TO MATCH
FABRIC: BONA FIDES

M3 - PROFILE: DELTA CERAMIC, HORIZONTAL
COLOR: TO MATCH
FABRIC: STONE DRIVE

STANDARD SEAM ROOF PANEL SYSTEM

M4 - PROFILE: SD
COLOR: TO MATCH
FABRIC: PEXA GREEN

STONEFRONT AND CHIMNEY WALL SYSTEM

ALUMINUM CLADDING

M5 - COLOR: STANDARD BRONZE TO MATCH SAMPLE

GLASS

Q1 - CLEAR GLASS INSULATING UNITS AT ENTRANCE

TINTED GLASS INSULATING UNITS AT OTHER LOCATIONS

Q2 - TRANSLUCENT PANELS

WOOD

W1 - ROUGH-SAWN CEDAR PLANKS

W2 - STAINED ROUGH-SAWN CEDAR PLANKS

W3 - PRESSURE TREATED WOOD



1115 Third Street, Suite #11
Sacramento, CA 95814
Tel: 916.445.1900
Fax: 916.445.1814
www.rmwa.com



GREEN ACRES
NURSERY & SUPPLY
ELK GROVE
5100 STOCKTON BLVD
ELK GROVE, CA

PLANNING SUBMITTAL

DATE: 11/11/11
SCALE: 1/8" = 1'-0"

Sheet No. 101
Date Issued: 11/11/11
Revision: 001

ELEVATIONS



VIEW OF MAIN ELEVATION



BIRD'S EYE VIEW



VIEW OF ENTRANCE



VIEW FROM PARKING LOT



GREEN ACRES
NURSERY & SUPPLY,
ELK GROVE

1000 E STOCKTON BLVD
ELK GROVE, CA

PLANNED SUBMITTAL

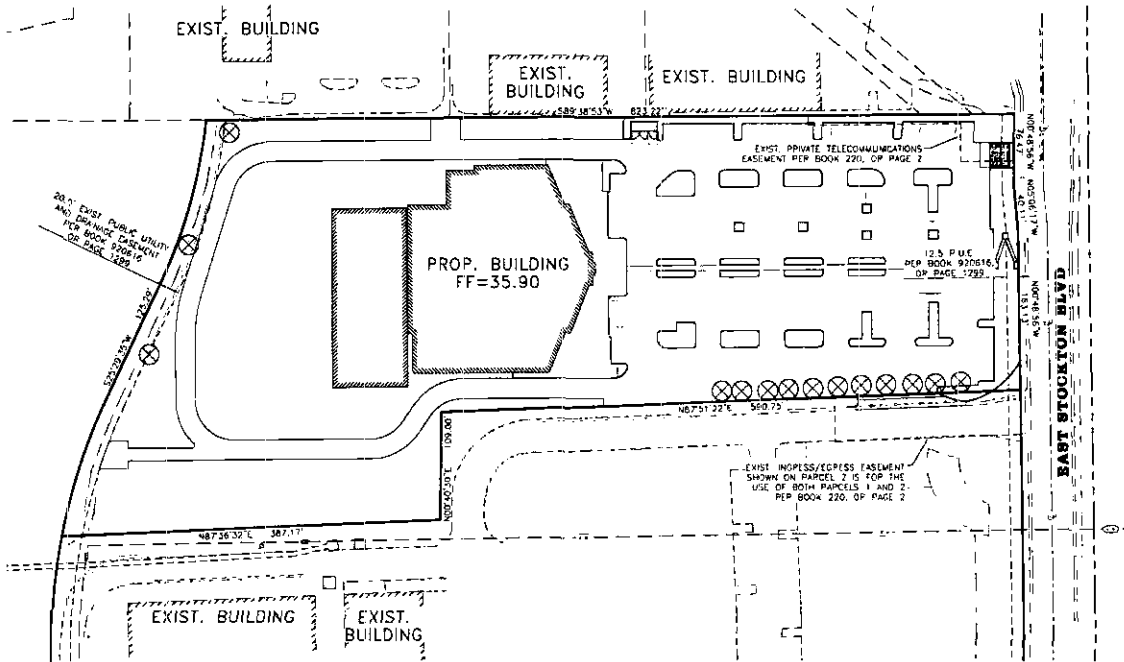
Scale: 1/8"=1'-0"
Date: 10/14/2014

Drawn by: [blank] Date: 10/14/2014
Checked by: [blank]
Title:

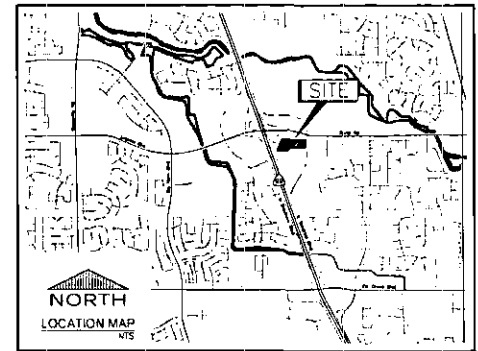
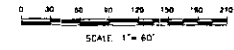
Title:
Sheet Number: 1043.00

EXTERIOR VIEWS

**PRELIMINARY GRADING PLAN FOR:
GREEN ACRES - E.STOCKTON BLVD.
COUNTY OF SACRAMENTO STATE OF CALIFORNIA
APN: 116-0090-029**



PROJECT SITE
SCALE: 1"=60'



SHEET INDEX

NO.	DESCRIPTION
C1	COVER SHEET
C2	TOPOGRAPHIC SURVEY
C3	PRELIMINARY GRADING PLAN
C4	PRELIMINARY GRADING PLAN
C5	PRELIMINARY GRADING PLAN
C6	POST-CONSTRUCTION STORM WATER QUALITY PLAN
C7	100 YEAR OVERLAND RELEASE PATH EXHIBIT

TWO DAYS BEFORE
YOU DIG CALL
USA TOLL FREE
800-227-2600



BENCHMARK ELEV.: 59.09' (1988 DATUM)
SAC. CO. B.M. 302-1-74
 2" BRASS DISC STAMPED 'S M 4-74 SAC CO. DEPT. OF PUBLIC WORKS' LOCATED IN SIDEWALK AT THE NORTHWEST CORNER OF THE BOND/LAGUNA OVERPASS (HWY 99) STA. 27+26 AND 43' LEFT OF CENTERLINE.
NOTE:
 AREA OF PROJECT SITE IS 6.83 AC.
 AREA OF DISTURBED LAND IS 6.83 AC.
FIELD VERIFICATION:
 THE VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES AND SETBACK STIPES ARE INDICATED HEREON FROM RECORD DATA. THE CONTRACTOR SHALL FIELD EXAVATE AND VERIFY THE LOCATIONS PRIOR TO EXTENDING SERVICES ON SITE. IF DISCREPANCIES EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THAT ADJUSTMENTS MAY BE MADE.
FLOOD INFORMATION
 FLOOD ZONE 3, FEMA PLAN NO. 06067C0317H, AUGUST 16, 2012

LEGEND

	EXISTING	PROPOSED
DROP INLET	○	●
MAINTENANCE HOLE	○	●
SEWARIY SEWER	—	—
STORM DRAIN	—	—
WATER MAIN	—	—
WATER METER	○	○
FIRE HYDRANT	—	—
WATER VALVE	—	—
WATER ELBOW	—	—
WATER TEE	—	—
RETAINING WALL	—	—
SLOPE	—	—
CURB, GUTTER & SDWK	—	—
CENTER LINE	—	—
RIGHT-OF-WAY	—	—
FENCE	—	—
DITCH FLOW DIRECTION	—	—
FLOW DIRECTION	—	—
TREE	○	⊗
BUSH	○	⊗
STREET LIGHT	○	⊗
POWER POLE	○	⊗
POLL BOX	○	⊗
ELEVATION	—	—
MAIL BOX	○	⊗
UTILITY BOX	○	⊗

APPROVED BY: [Signature]

DESCRIPTION: [Blank]

NO. [Blank]

DATE: [Blank]

CNA ENGINEERING INC.
 CIVIL, MECHANICAL, AND STRUCTURAL
 PLANNING, STRUCTURAL DESIGN

REGISTERED PROFESSIONAL ENGINEER
 NO. C 23467
 STATE OF CALIFORNIA
 DATE: 12/20/2013

CNA

PREPARED BY: [Blank]
 CHECKED BY: [Blank]
 DESIGNED BY: [Blank]
 SUBMITTED BY: [Blank]

SCALE: [Blank]
 HORIZ. 1"=80'
 VERT. 1"=4'
 FLD. BR. N/A

PRELIMINARY IMPROVEMENT PLANS FOR SUBDIVISION NAME

DATE: 12/20/2013
 IN: 13049
 SHEET: C1 of 7

LEGEND

- EXISTING**
- DROP INLET
 - MAINTENANCE HOLE
 - SANITARY SEWER
 - STORM DRAIN
 - WATER MAIN
 - WATER METEER
 - FIRE HYDRANT
 - WATER VALVE
 - WATER FLOW
 - WATER TEE
 - RETAINING WALL
 - SLOPE
 - CURB, GUTTER & SOWK
 - CENTER LINE
 - RIGHT-OF-WAY
 - FENCE
 - DITCH FLOW DIRECTION
 - FLOW DIRECTION
 - TREE
 - BUS
 - STREET LIGHT
 - POWER POLE

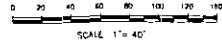
TOPOGRAPHIC SURVEY FOR: 9260 E. STOCKTON BLVD.

A.P.N.: 116-0090-029

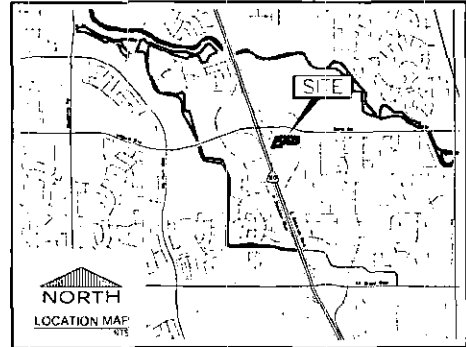
CITY OF ELK GROVE
JUNE 2013

CNA ENGINEERING INC.
SHEET 1 OF 1

STATE OF CALIFORNIA
SCALE 1" = 40'

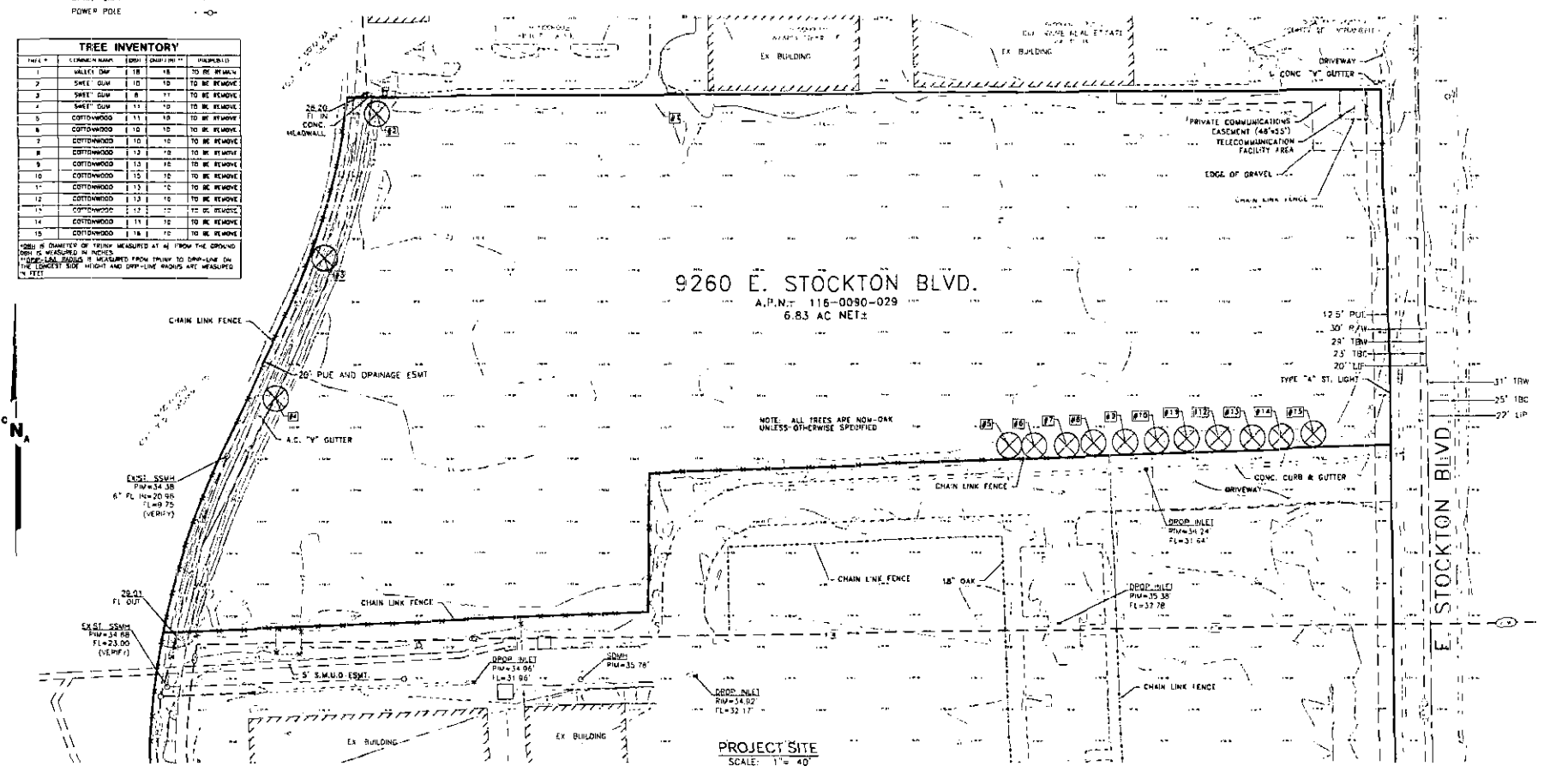


BENCHMARK ELEV.: 58.09 (1988 DATUM)
SAC COR. B.M. NO. 4-74
2" BRASS DISC STAMPED 73-4 4-74 SAC CO. DEPT. OF PUBLIC WORKS LOCATED IN SIDEWALK AT THE NORTHWEST CORNER OF THE BOND/LAGUNA OVERPASS (HWY 99) STA 22+26 AND 43' LEFT OF CENTERLINE



NO.	TREE	DBH	HGT	REMARKS
1	WALNUT	18"	18'	TO BE REMOVED
2	WALNUT	10"	10'	TO BE REMOVED
3	WALNUT	8"	11'	TO BE REMOVED
4	WALNUT	11"	10'	TO BE REMOVED
5	COTTONWOOD	13"	19'	TO BE REMOVED
6	COTTONWOOD	10"	10'	TO BE REMOVED
7	COTTONWOOD	10"	10'	TO BE REMOVED
8	COTTONWOOD	12"	10'	TO BE REMOVED
9	COTTONWOOD	13"	10'	TO BE REMOVED
10	COTTONWOOD	12"	10'	TO BE REMOVED
11	COTTONWOOD	13"	10'	TO BE REMOVED
12	COTTONWOOD	13"	10'	TO BE REMOVED
13	COTTONWOOD	12"	10'	TO BE REMOVED
14	COTTONWOOD	11"	10'	TO BE REMOVED
15	COTTONWOOD	18"	10'	TO BE REMOVED

DBH = DIAMETER OF TRUNK MEASURED AT 4' FROM THE GROUND
HGT = HEIGHT MEASURED IN FEET
*HORIZONTAL DISTANCE IS MEASURED FROM TRUNK TO DRAW-LINE ON THE CONCRETE SIDE HEIGHT AND GROUND-LEVEL HEIGHTS ARE MEASURED TO THE TOP



CNA ENGINEERING INC.
CIVIL ENGINEERING AND SURVEYING
PLANNING, STRUCTURAL DESIGN

PREPARED BY: [Name]
DATE: 12/20/2013

SCALE: HORIZONTAL 1" = 40'
VERTICAL 1" = 4' V.A.

DATE: 12/20/2013
EN-13049
SHEET
C2 OF 7

**PRELIMINARY
 GRADING PLAN FOR
 GREEN ACRES**

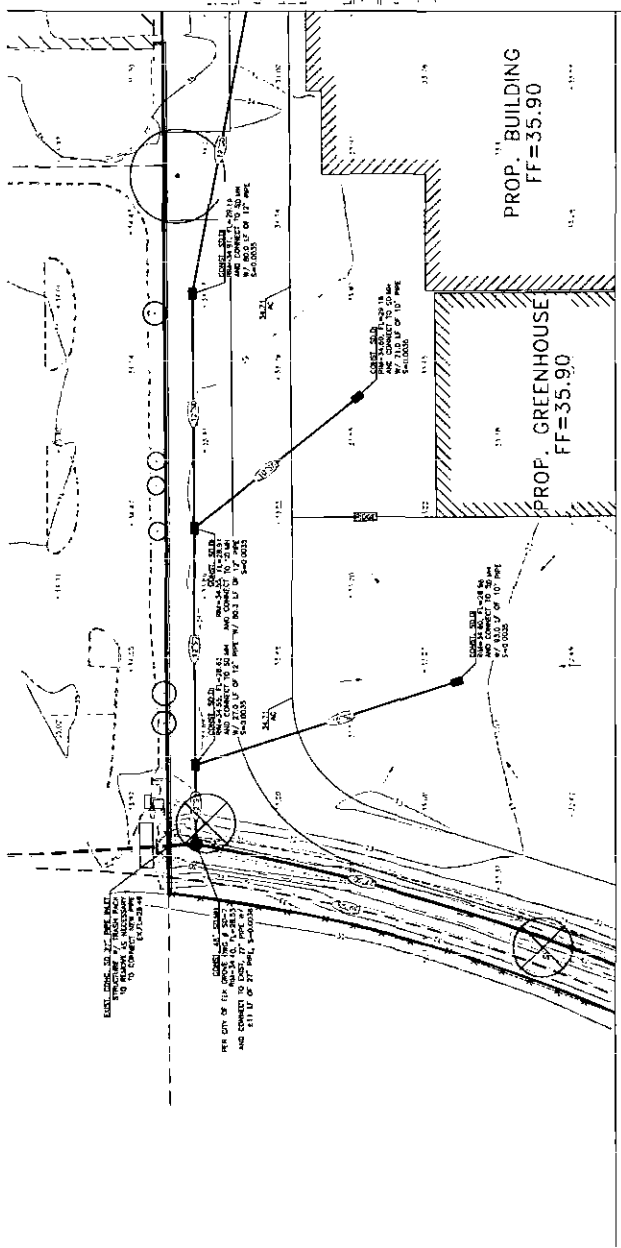
SCALE	PREPARED BY	DATE	12/20/2013
SCALE	1" = 20'	DESIGNED BY	YADWIR F.
SCALE	1" = 20'	CHECKED BY	CHRIS D.
SCALE	N/A	FLD. BY	N/A

CNA ENGINEERING INC.
 CIVIL ENGINEERING, LAND SURVEYING
 PLANNING, STRUCTURAL DESIGN
 2975 WALKER ROAD, SACRAMENTO, CA 95821
 PHONE: (916) 485-3745

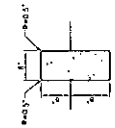


NO.	DESCRIPTION	APPROVED BY	DATE

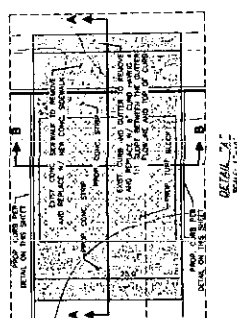
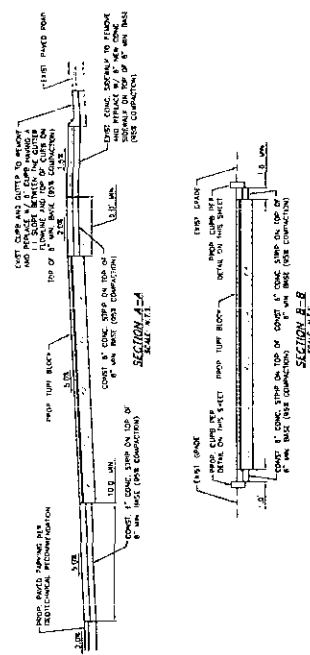
OAK TREE NOTE: CRITICAL ROOT ZONE OF OAK TREE SHALL BE REMOVED TO BE REPLACED SHALL COMPLY WITH CHAPTER 18.17.000 DEVELOPMENT CONTROL MEASURES



MAINLINE - SEE SHEET 3



CONCRETE CURB
 DETAIL



DETAIL C

APPROVED BY DATE	
DATE	07/25/2010
REVISIONS	

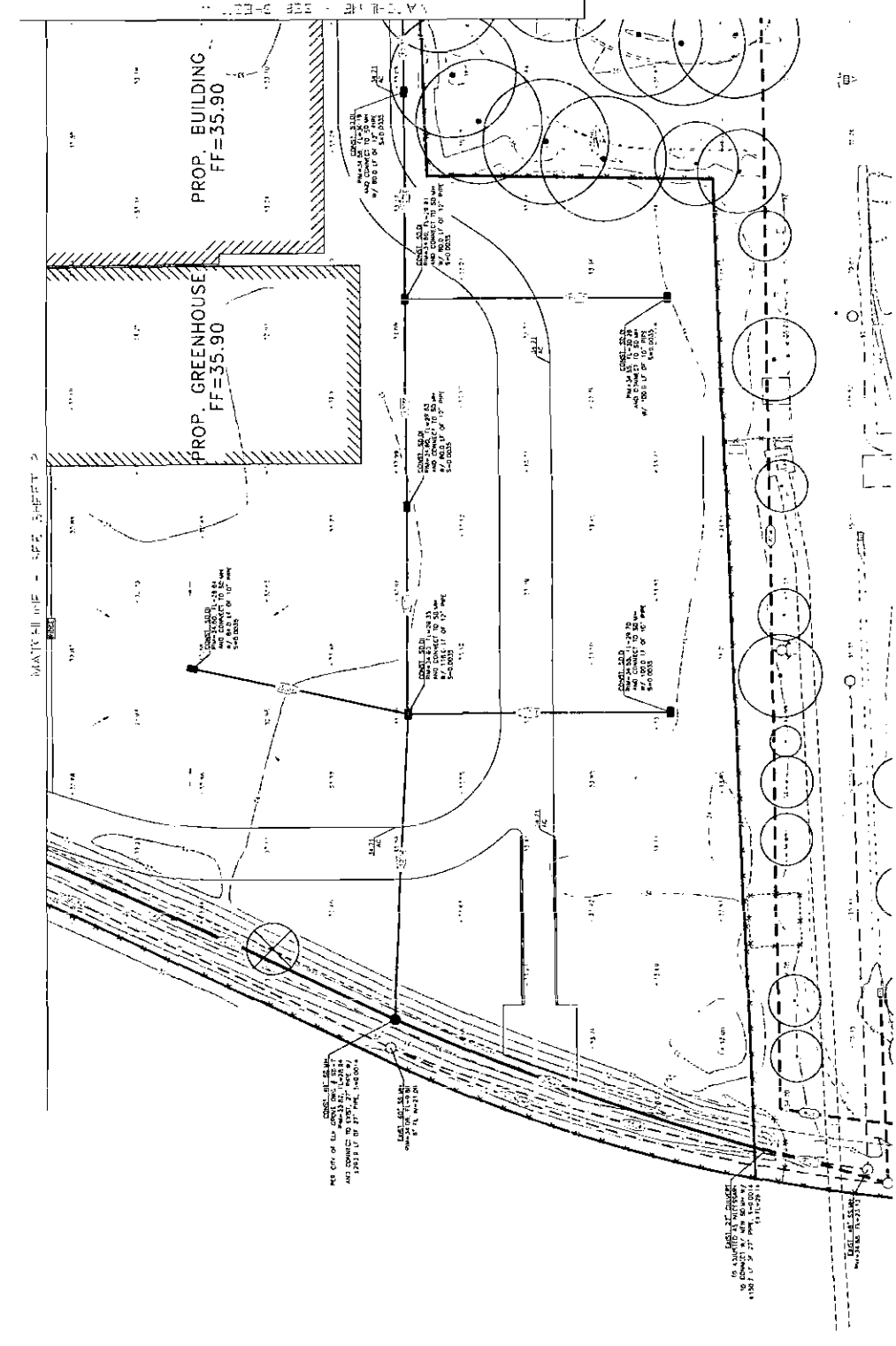
CNA ENGINEERING INC.
 CIVIL ENGINEERING AND SURVEYING
 PLANNING, STRUCTURAL DESIGN
 2575 VALLEY ROAD, SACRAMENTO, CA 95821
 PHONE: (916) 485-1245



SCALE	AS SHOWN
HOBBY 1" = 20'	DRAWN BY: KADAMAR F.
VERT. 1" = 4'	DESIGNED BY: STEVE M.
FLO OR. N/A	CHECKED BY: CHRIS D.

PRELIMINARY
 GRADING PLAN FOR
 GREEN ACRES

DATE: 07/20/2010
 PLAN: 15043
 SHEET
C4 of **7**
 SHEETS



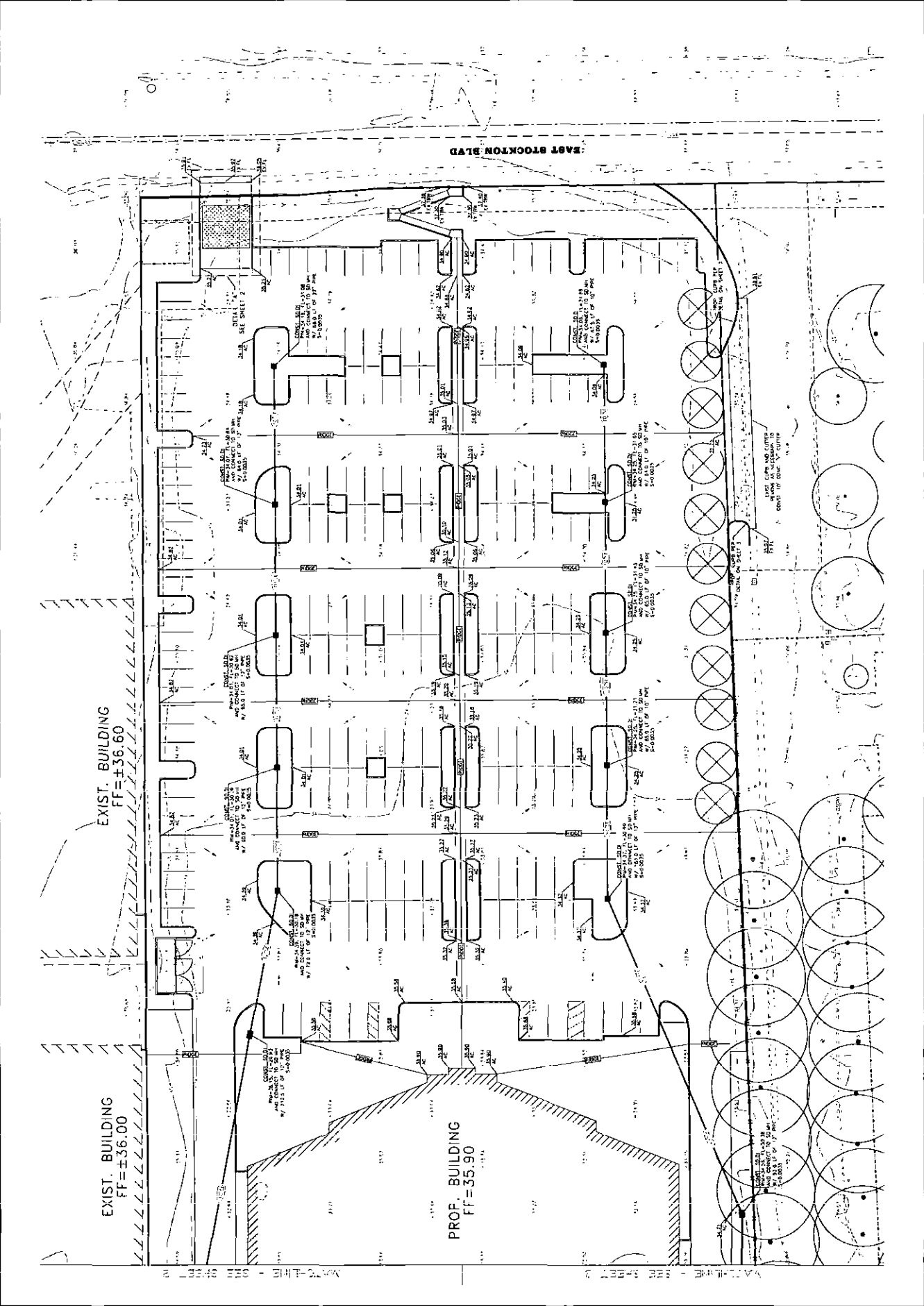
MATRIX REF = APP. SHEET 3

PRELIMINARY
GRADING PLAN FOR
GREEN ACRES

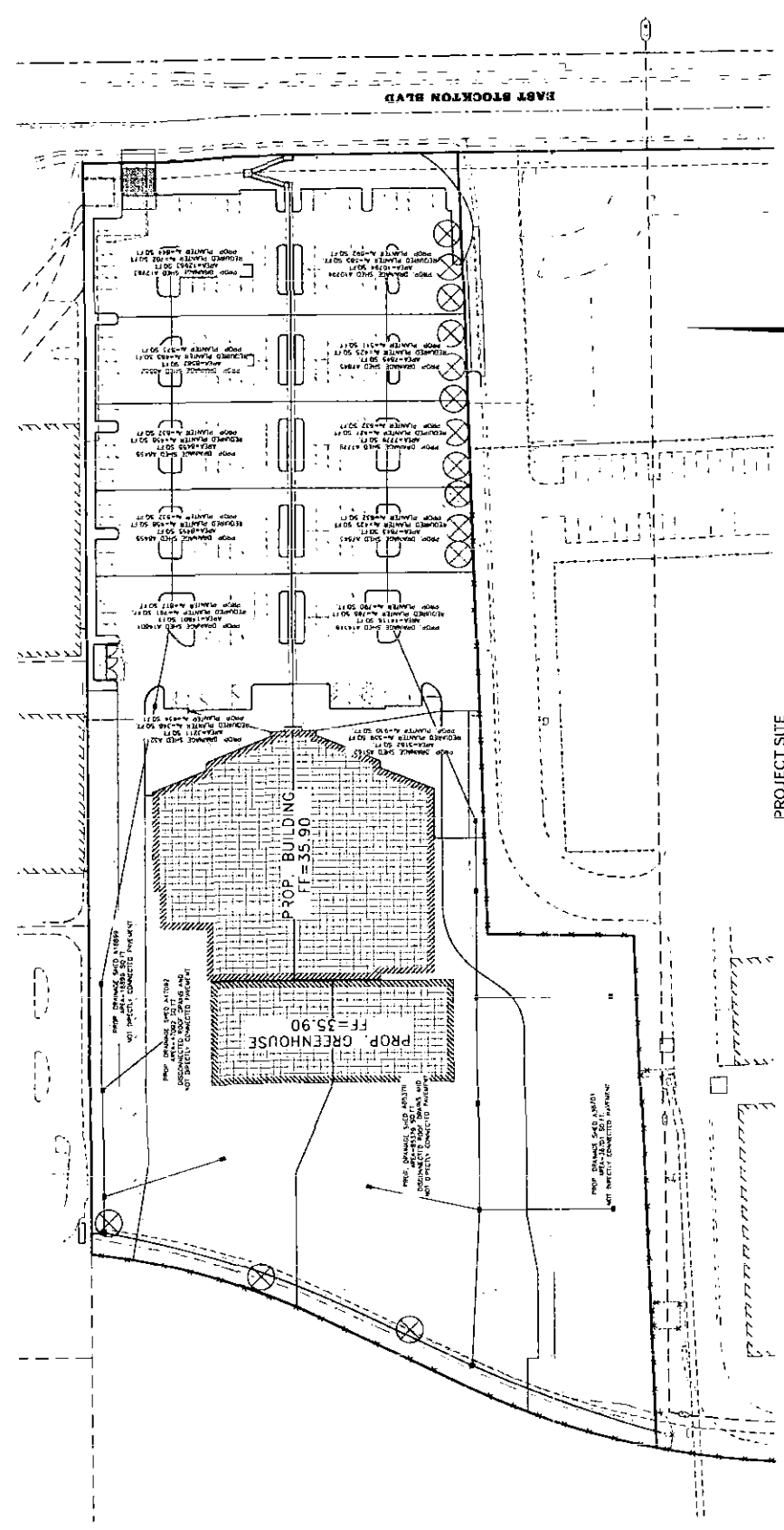
SCALE
DRAWN BY: W/AMR
CHECKED BY: STEVE N
DESIGNED BY: CHRIS D
PREPARED BY

CMA ENGINEERING INC.
CMA ENGINEERING AND SURVEYING
PLANNING, GEOTECHNICAL DESIGN
2575 VALLEY ROAD, SCARSDALE, NY 11757
PHONE: (915) 489-2745 FAX: 948-21

APPROVED BY: DMT
DESCRIPTION
DISPOSITION

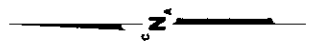
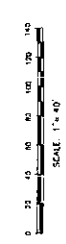


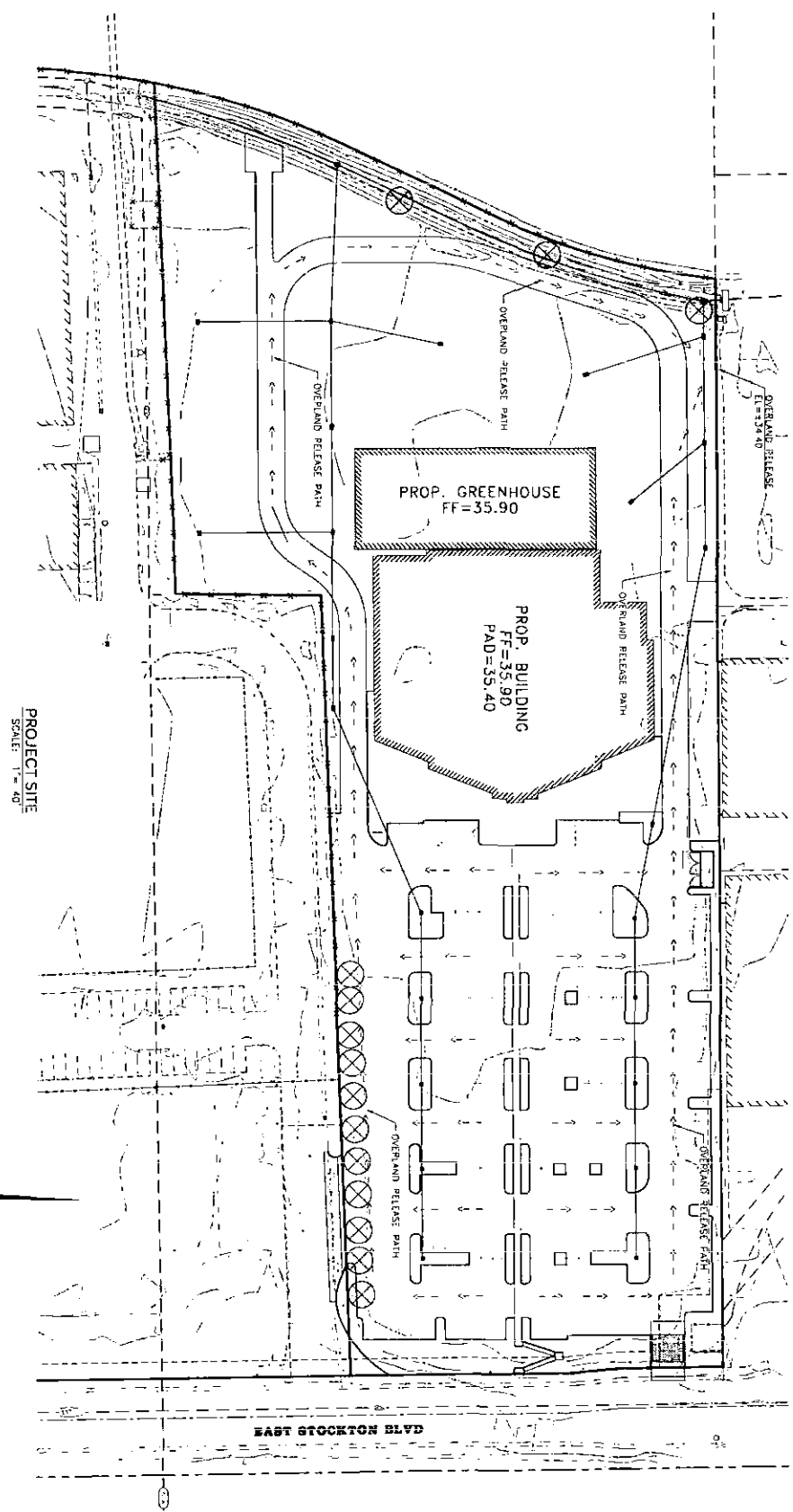
APPROVED BY: DMT
DESCRIPTION
DISPOSITION



PROJECT SITE
SCALE: 1" = 40'

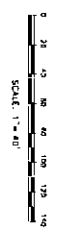
STORMWATER QUALITY HATCH LEGEND	
[Hatch Pattern]	PROP. DAVED AREA TREATED BY STORMWATER PLANTERS
[Hatch Pattern]	PROP. STORMWATER PLANTER
[Hatch Pattern]	PROP. ROOT AREA TREATED BY DISCONNECTED SCOP DRAINS
[Hatch Pattern]	PROP. PAVED AREA TREATED BY DISCONNECTED PAVEMENT
[Hatch Pattern]	PROP. POROUS PAVEMENT SECTION OR PLANTER





PRELIMINARY DRAINAGE STUDY:
 POST-CONSTRUCTION PEAK FLOW RAINFALL CALCULATION FOR
 10-YEAR, 1-INCH RAINFALL IS 13 CFS
 POST-CONSTRUCTION PEAK FLOW RAINFALL CALCULATION FOR
 10-YEAR, 1-INCH RAINFALL IS 13 CFS
 POST-CONSTRUCTION PEAK FLOW RAINFALL CALCULATION FOR
 10-YEAR, 1-INCH RAINFALL IS 13 CFS
 POST-CONSTRUCTION PEAK FLOW RAINFALL CALCULATION FOR
 10-YEAR, 1-INCH RAINFALL IS 13 CFS
 (ALL CALCULATIONS COMPLETED USING SACRAMENTO COUNTY
 HYDROLOGIC CALCULATOR)
FLOOD INFORMATION
 FLOOD ZONE X, FEMA PLAN NO. 5008920312H, AUGUST 16, 2012

PROJECT SITE
 SCALE: 1" = 40'



**100 YEAR OVERLAND
 RELEASE PATH EXHIBIT FOR:
 GREEN ACRES**

SCALE	PREPARED BY
HORIZ. 1" = 40'	DRAWN BY VLADIMIR F.
VERT. 1" = N/A	DESIGNED BY SILVIA N.
FLD BK. N/A	CHECKED BY CHRIS O.



CNA ENGINEERING INC.
 CIVIL ENGINEERING, LAND SURVEYING,
 PLANNING, STRUCTURAL DESIGN
 PHONE: (916) 486-3746
 2575 VALLEY ROAD, SACRAMENTO, CA 95821

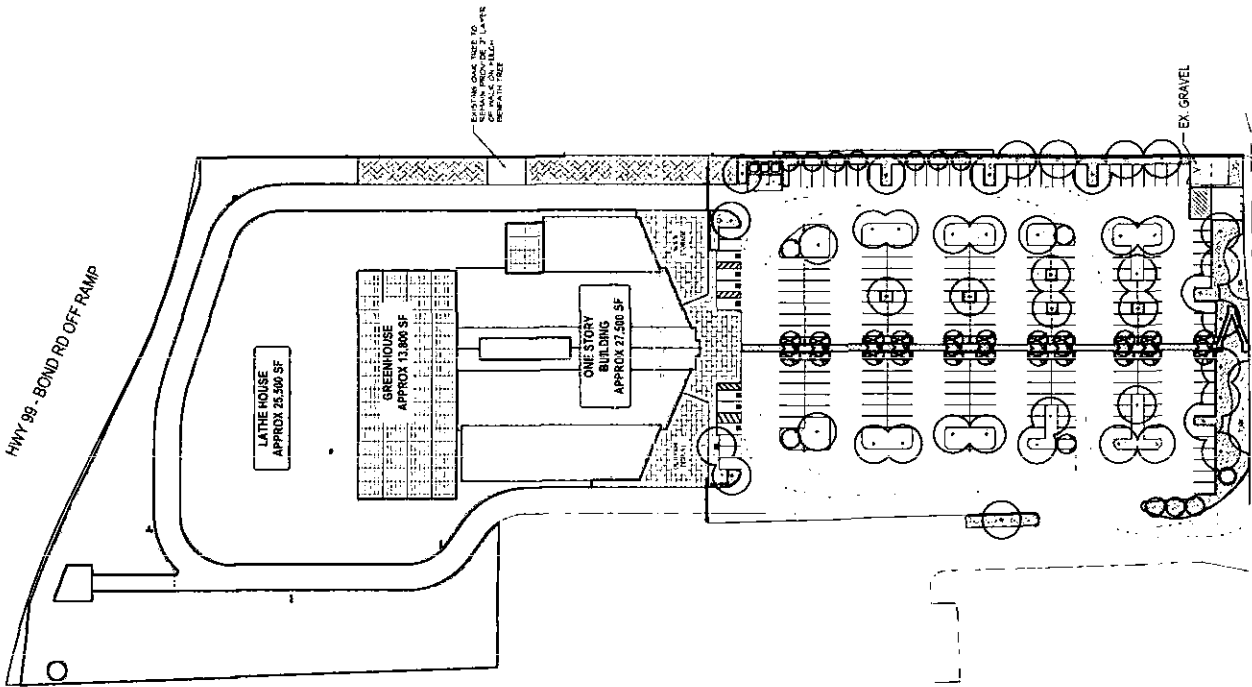
NO.	DESCRIPTION	APPROVED BY	DATE

SHADE CALCULATION TABLE

PLANT NAME	CODE	PERCENTAGE	SHADE AREA	TOTAL
PLANT A	A	50%	150	150
PLANT B	B	30%	90	240
PLANT C	C	20%	60	300
PLANT D	D	10%	30	330
PLANT E	E	5%	15	345
PLANT F	F	2%	6	351
PLANT G	G	1%	3	354
PLANT H	H	0%	0	354
PLANT I	I	0%	0	354
PLANT J	J	0%	0	354
PLANT K	K	0%	0	354
PLANT L	L	0%	0	354
PLANT M	M	0%	0	354
PLANT N	N	0%	0	354
PLANT O	O	0%	0	354
PLANT P	P	0%	0	354
PLANT Q	Q	0%	0	354
PLANT R	R	0%	0	354
PLANT S	S	0%	0	354
PLANT T	T	0%	0	354
PLANT U	U	0%	0	354
PLANT V	V	0%	0	354
PLANT W	W	0%	0	354
PLANT X	X	0%	0	354
PLANT Y	Y	0%	0	354
PLANT Z	Z	0%	0	354
TOTAL				354

CONCEPT PLANT SCHEDULE

- POTENTIAL PLANT SCHEDULE**
 - PLANT A: *Platanus occidentalis* / American Sycamore
 - PLANT B: *Quercus macrocarpa* / White Oak
 - PLANT C: *Prunella americana* / Black Cherry
 - PLANT D: *Amelanchier canadensis* / Spice Shrub
 - PLANT E: *Malus domestica* / Apple
 - PLANT F: *Malus ioensis* / Honeycrisp
 - PLANT G: *Malus domestica* / Gala
 - PLANT H: *Malus domestica* / Red Delicious
 - PLANT I: *Malus domestica* / Golden Delicious
 - PLANT J: *Malus domestica* / Fuji
 - PLANT K: *Malus domestica* / Granny Smith
 - PLANT L: *Malus domestica* / Braeburn
 - PLANT M: *Malus domestica* / Pink Lady
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 - PLANT O: *Malus domestica* / Gala
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 - PLANT Y: *Malus domestica* / Golden Delicious
 - PLANT Z: *Malus domestica* / Fuji



RMV
 REGISTERED MECHANIC
 1119 Third Street, Suite 810
 Sacramento, CA 95811
 Tel: 916.442.8800
 Fax: 916.442.8114
 www.rmvs.com

GREEN ACRES
 NURSERY & SUPPLY
 ELK GROVE, CA

GREEN ACRES
 NURSERY & SUPPLY
 ELK GROVE, CA

PLANNING APPLICATION SUBMITTAL
 111111



1119 Third Street, Suite 810
 Sacramento, CA 95811
 Tel: 916.442.8800
 Fax: 916.442.8114
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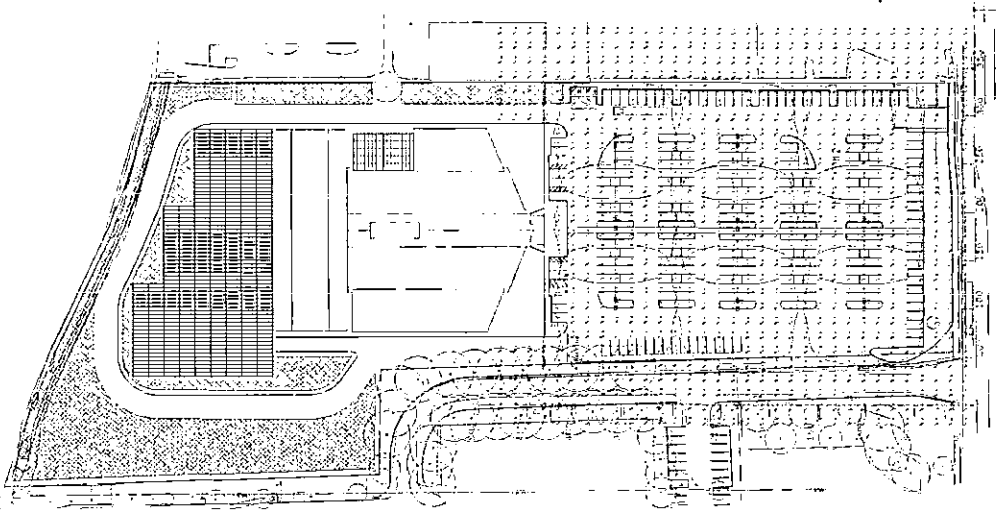
PRELIMINARY
 LANDSCAPE PLAN

SCALE: 1"=40'
 NORTH



PLANT CODE	PLANT NAME	QUANTITY	SIZE	REMARKS
A	Platanus occidentalis	1	24" x 24"	Planting in front of building
B	Quercus macrocarpa	1	24" x 24"	Planting in front of building
C	Prunella americana	1	24" x 24"	Planting in front of building
D	Amelanchier canadensis	1	24" x 24"	Planting in front of building
E	Malus domestica	1	24" x 24"	Planting in front of building
F	Malus ioensis	1	24" x 24"	Planting in front of building
G	Malus domestica	1	24" x 24"	Planting in front of building
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I	Malus domestica	1	24" x 24"	Planting in front of building
J	Malus domestica	1	24" x 24"	Planting in front of building
K	Malus domestica	1	24" x 24"	Planting in front of building
L	Malus domestica	1	24" x 24"	Planting in front of building
M	Malus domestica	1	24" x 24"	Planting in front of building
N	Malus domestica	1	24" x 24"	Planting in front of building
O	Malus domestica	1	24" x 24"	Planting in front of building
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V	Malus domestica	1	24" x 24"	Planting in front of building
W	Malus domestica	1	24" x 24"	Planting in front of building
X	Malus domestica	1	24" x 24"	Planting in front of building
Y	Malus domestica	1	24" x 24"	Planting in front of building
Z	Malus domestica	1	24" x 24"	Planting in front of building

- ### SHEET NOTES
- THE CITY OF ELK GROVE HAS REVIEWED THIS PLAN FOR CONFORMANCE WITH THE CITY OF ELK GROVE ORDINANCES.
 - THE CITY OF ELK GROVE DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PLAN.
 - PLANTS SHALL BE SIZED PER THE REQUIREMENTS SET FORTH IN CHAPTER 13.24 OF THE ELK GROVE MUNICIPAL CODE. PLANTS SHALL BE SIZED PER THE REQUIREMENTS SET FORTH IN CHAPTER 13.24 OF THE ELK GROVE MUNICIPAL CODE. PLANTS SHALL BE SIZED PER THE REQUIREMENTS SET FORTH IN CHAPTER 13.24 OF THE ELK GROVE MUNICIPAL CODE. PLANTS SHALL BE SIZED PER THE REQUIREMENTS SET FORTH IN CHAPTER 13.24 OF THE ELK GROVE MUNICIPAL CODE.
 - A MINIMUM OF 30% OF ALL TREES SHALL BE MAINTAINED.
 - ALL TREES SHALL BE PLANTED WITHIN 10 BUSINESS DAYS OF THE DATE OF THE PERMIT TO CONSTRUCT.
 - NEW TREES SHALL BE PLANTED ALONG WITHIN 10 BUSINESS DAYS OF THE DATE OF THE PERMIT TO CONSTRUCT.
 - PLANTS SHALL BE PLANTED WITHIN 10 BUSINESS DAYS OF THE DATE OF THE PERMIT TO CONSTRUCT.
 - LANDSCAPE REQUIREMENTS SHALL BE AS SHOWN ON THIS PLAN.



Location Summary: Client _____ Units _____ Area _____ Max. # _____ Apple _____ Max. # _____ Max. # _____ Max. # _____
Location _____ Latitude _____ Longitude _____ Map _____ Scale _____ Scale _____ Scale _____ Scale _____
Notes _____

Item	Quantity	Unit	Notes
1	1	sq. ft.	
2	1	sq. ft.	
3	1	sq. ft.	
4	1	sq. ft.	
5	1	sq. ft.	
6	1	sq. ft.	
7	1	sq. ft.	
8	1	sq. ft.	
9	1	sq. ft.	
10	1	sq. ft.	
11	1	sq. ft.	
12	1	sq. ft.	
13	1	sq. ft.	
14	1	sq. ft.	
15	1	sq. ft.	
16	1	sq. ft.	
17	1	sq. ft.	
18	1	sq. ft.	
19	1	sq. ft.	
20	1	sq. ft.	
21	1	sq. ft.	
22	1	sq. ft.	
23	1	sq. ft.	
24	1	sq. ft.	
25	1	sq. ft.	
26	1	sq. ft.	
27	1	sq. ft.	
28	1	sq. ft.	
29	1	sq. ft.	
30	1	sq. ft.	
31	1	sq. ft.	
32	1	sq. ft.	
33	1	sq. ft.	
34	1	sq. ft.	
35	1	sq. ft.	
36	1	sq. ft.	
37	1	sq. ft.	
38	1	sq. ft.	
39	1	sq. ft.	
40	1	sq. ft.	
41	1	sq. ft.	
42	1	sq. ft.	
43	1	sq. ft.	
44	1	sq. ft.	
45	1	sq. ft.	
46	1	sq. ft.	
47	1	sq. ft.	
48	1	sq. ft.	
49	1	sq. ft.	
50	1	sq. ft.	

Location Summary: Client _____ Units _____ Area _____ Max. # _____ Apple _____ Max. # _____ Max. # _____ Max. # _____
Location _____ Latitude _____ Longitude _____ Map _____ Scale _____ Scale _____ Scale _____ Scale _____
Notes _____

CAL Lighting - Doug Coleman
 6111 Bolinger Canyon Road, Suite 110
 San Ramon, CA 94583
 Tel: 925.242.0111
 Fax: 925.242.1001

Green Acres
 Ver D
 Date: 10/21/2013
 David Alan Gilmore, IC

**CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2014-78**

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) ss
CITY OF ELK GROVE)

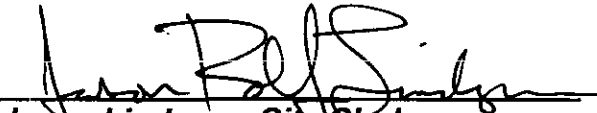
I, Jason Lindgren, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on March 26, 2014 by the following vote:

AYES : COUNCILMEMBERS: Davis, Cooper, Detrick, Hume, Trigg

NOES: COUNCILMEMBERS: None

ABSTAIN : COUNCILMEMBERS: None

ABSENT: COUNCILMEMBERS: None


**Jason Lindgren, City Clerk
City of Elk Grove, California**